

# WATERPROOF

**CORPORATE PROFILE**

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**R&BS**

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Water penetration solutions.



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# ABOUT US

Roof & Building Service is the leading provider of water penetration solutions in Australia. Since 1928 we've been helping protect commercial and large-scale properties and assets against the threat of water damage.

We resolve water penetration issues through consultancy, detailed reporting procedures and enduring remediation options. As experienced and trusted specialists, we guarantee our own work and provide in-house warranties independent of product manufacturers. Our clients include nationally recognised brands and investment firms throughout Australia.

## THE R&BS EXPERIENCE

Australia is a land of extremes and our buildings and structures take a beating from the weather all year round. R&BS provides a range of water penetration solutions including roof repair and maintenance, waterproofing and structural concrete repair.

As recognised leaders in the industry, we also provide extensive consultancy services from roof condition reports through to an investigative analysis of any existing or potential water penetration issues.

## COMMERCIAL AND INDUSTRIAL ROOF REPAIR

R&BS is highly qualified in diagnosing and solving the problems commonly found with every type of commercial and industrial roof, such as corrosion of the roofing materials, damage to guttering and broken-down roof sealant. We also address problems caused by poor workmanship, which can lead to your roof falling into disrepair much sooner than expected.

At R&BS we don't simply take a "one size fits all" approach to maintaining and repairing your building's roof. Instead, we thoroughly investigate and then apply the specific solution that will ensure the best results, whether you have a metal, concrete or tiled roof.



## OUR PROMISE

R&BS's experienced and dedicated consultants will accurately identify any potential or existing water penetration issues and advise you on the appropriate remediation steps for your situation.

We will take into account your financial and business priorities and advise you on what needs to be done immediately to prevent water penetration and what can wait, so you can plan ahead with confidence.



# METAL ROOF

## METAL ROOF REPAIR

Metal roof sheeting is the most common form of roofing in the commercial and industrial sector. It's the first line of defence a building has against the elements and maintaining and protecting its integrity is vital.

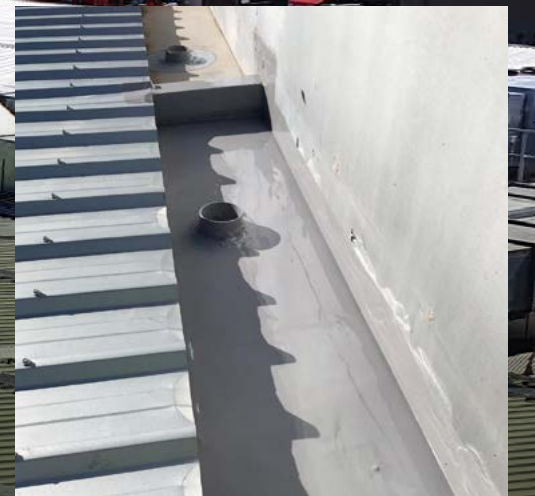
Traditionally metal roofs were utilised on high pitch roofs and were reliant on water dissipating very quickly. Minimal sealants were used, and flashings were designed with adequate turn-ups etc to ensure no water entry. Over the decades new sheet profiles have been developed allowing lower pitches; however, traditional flashing designs around penetrations have become reliant on sealants which have an end of life.

The typical sealants have minimal UV protection and when the surfaces are not prepared correctly it can cause the sealants to fail even quicker.

Due to this typical issue with low pitch metal roofs, a replacement is not always the best solution, as you are still relying on the penetration locations to be totally watertight. At R&BS our philosophy is, "A new roof is not a guaranteed watertight roof".

### OUR METAL ROOF SERVICES INCLUDE:

- Corrosion mitigation and treatment
- Box gutter relining, replacement and encapsulation
- Flashing sealing and replacement
- Downpipe and gutter replacement
- Skylight assessment and replacement
- Penetration and flashing sealing
- Roof re-screws to reduce corrosion transfer to roof sheet
- Roof coating systems using UV reflective coatings, encapsulating membranes and decorative coatings.





# MEMBRANE ROOF

## TORCH-ON MEMBRANE

Torch applied single and multi-layered membrane systems with a ventilated base layer, provide a long-term solution to ensure waterproof integrity is achieved on all types of exposed flat roof areas.

## APPLICATION PROCESS

This membrane system is applied employing single or multiple layers by the following process:

- Substrate preparation
- Treatment of surface imperfections and defects
- Application of suitable substrate primers
- Installation of additional layers fully adhered by hot torching to the layer beneath
- Detailing to turn ups, penetrations and drains
- Final layer is a UV stable, mineral chip surfaced cap sheet

## UNIQUE ADVANTAGES

- Flexibility in choice of single or additional layers
- Immediate waterproof integrity achieved with installation of first layer
- Suitable for use over existing membranes
- Blistering prevented by unique method of mechanical or spot fixing of first layer
- Full UV exposure is achieved when final layer is comprised of a mineral chip surface
- Suitable for light foot traffic

## TYPICAL APPLICATIONS

- Existing concrete roofs following removal of original surfacing
- New concrete roofs
- Plywood decks
- Fibrous cement sheeting
- Timber decks
- Resurfacing existing membrane areas
- Where a breathable membrane system is required





# MEMBRANE ROOF

## LIQUID MEMBRANE

The development of water based and polyurethane liquid applied membrane systems has introduced new, effective and economical means of waterproofing concrete roof decks.

## APPLICATION PROCESS

This membrane system is applied using multiple coats of liquid membrane using the following process:

- Substrate preparation
- Treatment of surface imperfections and defects
- Application of suitable substrate primers
- Application of base coats of liquid membrane
- Reinforced fabrics used as required
- Final applications of liquid membrane

## UNIQUE ADVANTAGES

- Application by spray, roller or brush for covering large or small areas efficiently
- Totally seam-free and self-flashing
- Management of movement and cracking due to its high elasticity
- UV stable for exposed decks
- Trafficable membrane

## TYPICAL APPLICATIONS

- Concrete roof areas (exposed or covered)
- Shrinkage cracks
- Interface of horizontal and vertical surfaces
- Cracking to parapets and cappings
- Where ponding is occurring due to roof gradient issues
- Around failed penetration details





# TILE ROOF

Roofs with concrete and terracotta tiles are practical and easily maintained. However, as with all roofing materials, full exposure to the elements requires ongoing maintenance.

## REASONS FOR REQUIRED MAINTENANCE

- Gradual surface deterioration leading to dust, dirt and mould growth
- Building settlement causing failure in ridge capping, bedding and pointing
- Cracked tiles, ineffective penetration detail and flashing failure
- Tiles slipping into valley gutters causing partial blockages

## RECOMMENDED MAINTENANCE

- Replace cracked tiles
- Rebed ridge capping as necessary and repoint entire ridgelines
- Refit slipped valley tiles with clips
- Installation of valley seal to sides of valley gutters to prevent water overflow
- Pressure cleaning to remove surface contamination
- Resurfacing with clear or heavy-duty acrylic finishes





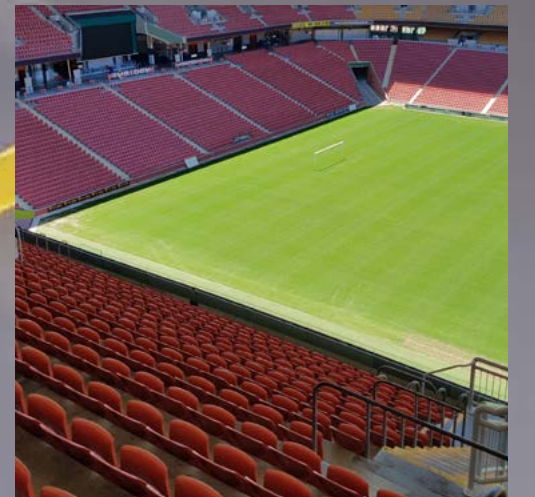
# WATERPROOF

## SCOPE OF SERVICES

Buildings and facilities can experience serious waterproofing issues when exposed to climatic conditions, wear and tear and building movement.

## TYPICAL APPLICATIONS

- Balcony and roof deck sealing
- External façade sealing
- Non-slip and trafficable finishes
- Expansion and control joint sealing systems
- Subterranean waterproofing systems
- Dampcourse replacement
- Plant room sealing and bunding solutions
- Wet area membranes
- Planter box sealing
- Water feature sealing
- Rooftop garden waterproofing
- Membrane systems in podium landscaping
- Retaining walls
- Waterproofing





# CONCRETE REPAIR

Concrete spalling (also known as concrete cancer) is the deterioration of steel reinforced concrete structures. It is caused by the steel reinforcing within the structure being affected by moisture containing salts, carbonation and chlorides which corrode the reinforcing causing it to swell up to 6-7 times its original size. This then causes the surrounding concrete structure to absorb extra stress resulting in cracks and fractures and eventually delaminating, resulting in extensive weakening of the structural integrity of the concrete building elements.

## CONDITIONS THAT CAN INCREASE THE LIKELIHOOD OF CONCRETE SPALLING

- Proximity to coastal environments
- Substandard concrete cover over the steel reinforcement
- Moisture access through movement cracking to the concrete substrate
- Exposure to corrosive chemicals and substances

## REPAIR METHODOLOGY

We use a globally recognised and proven repair methodology that is supported by all major suppliers of specialist remedial repair products and exceeds industry standards. Our highly skilled technicians are very experienced and continue to stay at the forefront of any technological advances in methods and products in this area.





# FUTUREPROOF

## QUALITY

R&BS uses tried and tested products known for their durability and suitability for the Australian market. We work with well-established, reputable suppliers and manufacturers to ensure the highest quality finish and continuity of supply.

All recommendations made by our in-house consultants are reviewed by a senior technical team to ensure that your solution is best fit for purpose. All projects are managed by our in-house operations team to ensure clients are aware of job progression and completion of works is carried out to above expectations.

## SET AND FORGET

The best way to stop a leak is to prevent it starting. One way we do this is by working with you to establish recurring inspection schedules tailored to your particular building or facility.

By liaising directly with individual managers at pre-determined times and dates we can accurately and cost-effectively monitor roof integrity and maintenance requirements.

## CONSIDERING SOLAR?

Our world is changing and property owners and tenants are increasingly aware of the environmental benefits and reduced energy consumption offered by the installation of PV Solar systems. The advantages they bring can only be appreciated if the watertight integrity of your asset is ensured prior to installation.

R&BS can provide comprehensive roof inspection reports, post and pre PV Solar system installation. These reports provide an understanding of current and potential water ingress concerns that require rectification to ensure the watertightness of the roof area.





# BUDGETPROOF

## COST EFFECTIVENESS

A poorly conceived and executed water penetration solution can result in a costly full roof replacement or ongoing maintenance issues. At R&BS we will never recommend a product or service you don't need.

Our experience and specialist knowledge enables us to suggest solutions that will prolong the lifespan of your roof and considerably reduce the operational impacts, as well as avoiding unnecessary capital expenditure for the replacement of a roof.

## TAILORED TO YOUR NEEDS

There is no 'one size fits all' solution to water penetration issues, every job has its own unique circumstances.

We tailor inspection and audit packages to ensure long-term roof integrity and compliance in commercial facilities. Our primary goal is to stop leaks before they start through proactive maintenance plans.

## THE CUSTOMISED REPORT FOR YOUR BUILDING/BUSINESS/PROPERTY WILL INCLUDE:

**EXPERT OVERVIEW**  
identifying any potential or existing issues

**EXPENDITURE FORECAST SCHEDULE**  
for the next 5-10 year period

**ALL-INCLUSIVE REPORT**  
that will be useful at Board level, ensuring informed decisions can be made

## OUR PROCESS.





# RISKPROOF

## SAFETY

Safety is our number one priority. The health and wellbeing of staff and clients is paramount and our safety management processes demonstrate our commitment to the highest possible on-site safety standards.

Our in-house Operations Management team oversees all safety documentation, and a comprehensive contractor induction process as well as conducting regular site audits, test and tag inspections and safety alerts. In addition, all workers are authorised to suspend work in order to clarify safety arrangements at no cost to clients.

R&BS requires all sub-contractors to submit current insurance documentation prior to commencing works and we maintain Professional Indemnity, Public Liability and Workers Compensation insurances.

## EXTERNAL OH&S

R&BS works with an external agency to ensure all assessments of health, safety, environmental and risk management systems are completely impartial and independent.

Audits are undertaken annually and opportunities to improve and develop safety, quality and environmental controls are identified and actioned.

## COMPANY CERTIFICATIONS

As the acknowledged industry leader, R&BS maintains a variety of third-party certifications that ensure knowledge of, and compliance with, current industry practices and safety standards.

- ISO 45001: Safety Management System
- ISO 9001: Quality Management System
- ISO 14001: Environmental Management System
- CM3 Certified



SCI QUAL  
INTERNATIONAL



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